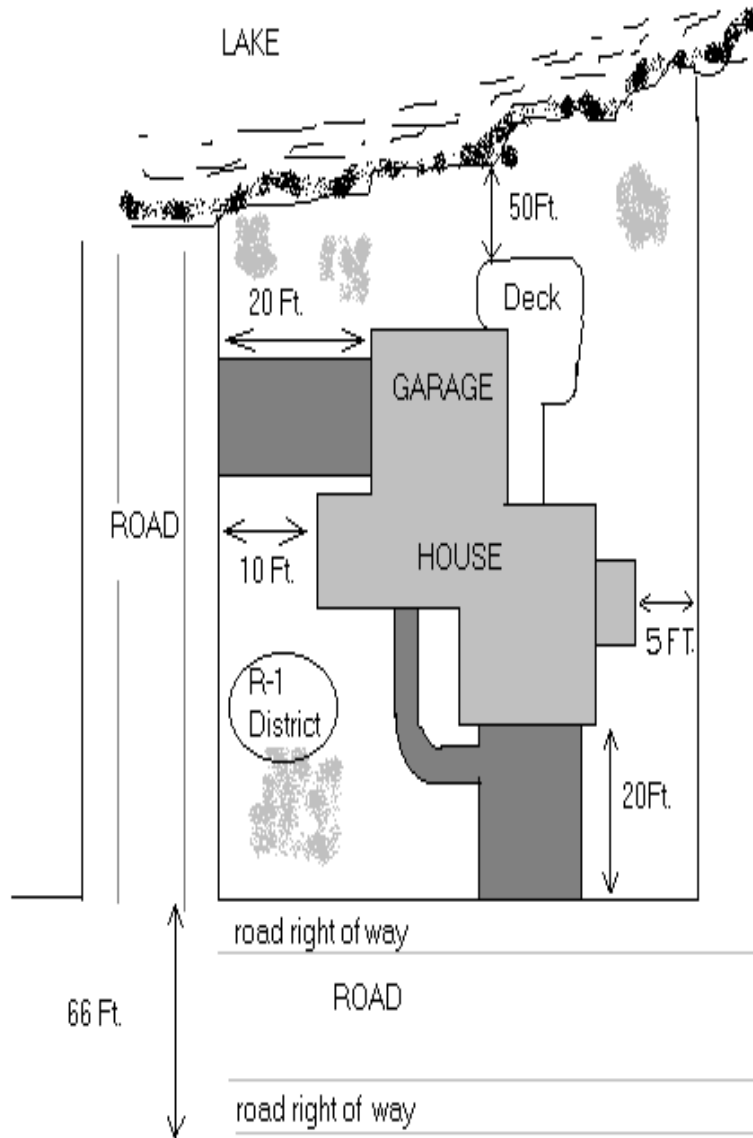


A. Lot area and setbacks



R-1 Residential District

All lakefront, riverfront and canal dwellings will reside in the R-1 Residential District. The water side of the lot will be considered the FRONT while the road side of the lot will be the REAR for purposes of this Ordinance.

Front setback from the lake will be 50 ft.

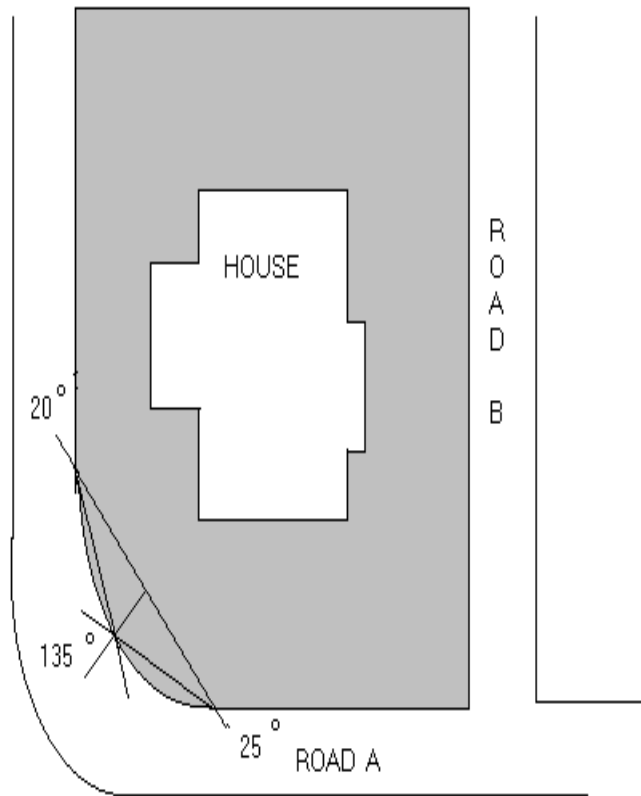
Rear setback from the road right of way will be 20 ft.

Side setback from the lot line will be 5 ft. measured from the roof overhang.

Side setback from an intersecting road will be 10 ft. from the dwelling and 20 ft. from a garage either attached or not attached.

50% of the lot area shall remain open.

B. Corner lot

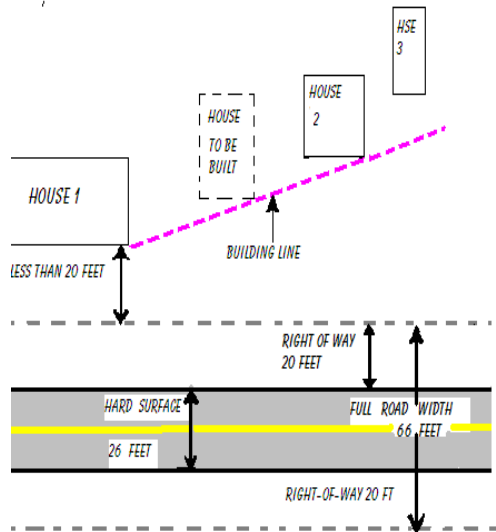


A corner lot is a lot located at the intersection of two streets or a lot bounded on two sides by a curving street, any two coordinates of which form an angle of 135 degrees or less as measured on the lot side. The point of intersection of the street lot lines is the corner. In case of a corner lot with a curved street line, the corner is that point on the street lot line nearest to the point of intersection of the tangents described above.

C. R-2, R-3, Residential

ZONING DISTRICTS R-2, R-3

ING DISTRICTS R-2, R-3

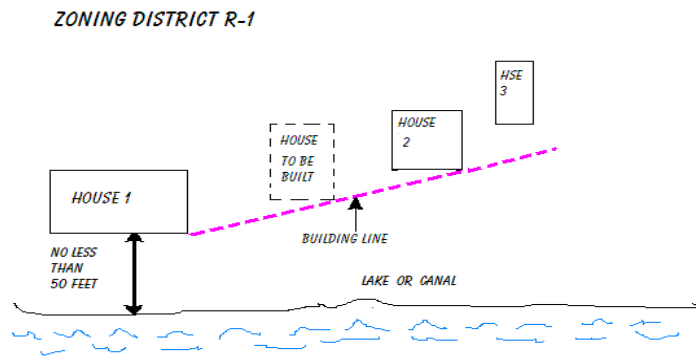


Building Line – Setback Averaging

Setback Averaging is used for calculating how far off the road-right-of-way / property line a new dwelling or modification to a dwelling shall be placed. Using a distance within **200 feet** to the right and/or within **200 feet** to the left of the dwelling in question, actual setback measurements of dwellings in each direction will be used to determine the average setback. If a dwelling exists in these **200 foot** areas that creates an erratic setback line, that dwelling will not be included in the setback averaging. If there is no “established building line” a distance within **200 feet** to the right and **200 feet** to the left of the dwelling in question:

R-2 & R-3 a **20** foot setback from the road-right-of-way will take precedence.

D. R-1 Residential Waterfront



Building Line – Setback Averaging for Waterfront Dwellings

1. The front for an R-1 dwelling on the water shall be the side that faces the water.
2. Setback averaging is used for calculating how far off the water's edge a new dwelling or modification to a dwelling shall be placed.
3. Using a distance within 200 feet to the right and / or within 200 feet to the left of the dwelling in question, actual waterfront setback measurements of dwellings in each direction will be used to determine the average setback. If a dwelling exists in these 200 foot areas create an erratic setback line; that dwelling will not be included in the setback averaging.
4. If there is no “established building line” a distance within 200 feet to the right and / or within 200 feet to the left of the dwelling in question; a 50 foot setback from the lakefront, (25 foot setback from a canal / river shall take precedence.
5. Water's Edge: (Lake) The distance measured from the crest of the nearest seawall on the right to the crest of the nearest seawall on the left. Water's Edge: (Canal / River) the distance to the nearest edge of the water.